



CITY OF DUBLIN.

Land Use and
Long Range Planning
3800 Shier-Rings Road
Dublin, Ohio 43016-1236

Phone: 614-410-4600
Fax: 614-410-4747
Web Site: www.dublin.oh.us

PLANNING REPORT

PLANNING AND ZONING COMMISSION

NOVEMBER 6, 2008

SECTION I - CASE INFORMATION:

**1. Waterford Commons Monterey Drive and West Bridge Street
08-092FDP Final Development Plan**

- Proposal:** A development that includes 25 townhome units in seven buildings and a 12,000-square-foot commercial building within the Waterford Commons Planned Unit Development District, located on the south side of West Bridge Street, east and west of Monterey Drive.
- Request:** This is a request for review and approval of a final development plan under the Planned District provisions of Code Section 153.053.
- Applicant:** Pat Grabill, Grabill & Company, LLC.
- Planning Contact:** Jennifer M. Rauch, AICP, Planner II
- Contact Information:** (614) 410-4690, jrauch@dublin.oh.us

Case Summary

This proposal is a request for review and approval of a final development plan for the construction of 25 townhouse units, a 12,000-square-foot commercial building, and 0.8 acre of open space within the Waterford Commons Planned Unit Development. The proposal is compatible with the character of the area and complies with the review criteria for approval of a final development plan; therefore approval of this request is recommended.

Case Background

The rezoning/preliminary development plan for the Waterford Commons Planned Unit Development was approved by the Planning and Zoning Commission on May 15, 2008 and City Council on August 18, 2008. City Council approval included additional modifications to the development text regarding architecture, building materials and the bio-retention basin. The text was revised to specify that the homeowner's association is responsible for the funding and maintenance of the bio-retention basin, as well as receiving education about its care and upkeep. Details requiring the use of full-length shutters and appropriately scaled entry columns for the residential buildings were also added to the text. City Council expressed concern about the use of vinyl siding and the text was revised to specify the percentage of each material that could be used on each elevation and require the elevations provided with final development plan comply with those presented to Council on August 18, 2008.

Site Description

Location

The site is located on the south side of West Bridge Street, at the intersection with Monterey Drive. Monterey Drive extends approximately 550 feet through the center of the site, dividing it into two sections. An additional 235 feet of road frontage is provided along West Bridge Street east of Monterey.

Site Character

The site is relatively flat with a slight slope toward the east. The southern portion of the site is currently developed with eight duplex residences located along both sides of Monterey Drive. The northern portion of the site is vacant. There are a number of significant trees located within the site and along the western and southern property boundaries.

Surrounding Zoning and Uses

The site consists of 10 separate parcels zoned Planned Unit Development as part of the Waterford Commons plan. The Dublin Cemetery, zoned R-2, borders the eastern half of the site on the east and south. An existing gas station, zoned CC, is located on the southwest corner of West Bridge Street and Monterey Drive. Monterey Park is located south of the western half of the site within the Waterford Village PUD. Other residential and commercial uses are located west of the site. Sells Middle School and Indian Run Elementary School are located to the north across West Bridge Street, and are zoned HR, Historic Residential District.

Plan Description

Overview

The proposed plan includes 25 townhouses within 3-unit and 5-unit buildings located on both sides of Monterey Drive (Subarea A), a 12,000-square-foot commercial building with associated parking located on the south side of West Bridge Street (Subarea B), and 0.8 acres of open space located throughout the site (Subarea C).

Subarea A (Residential)

Layout

Subarea A consists of 25 townhouse units located within seven buildings with detached, rear-loaded garages. Subarea A east of Monterey Drive has 9 townhouses in three-unit buildings (Buildings 1-3) oriented north to south. The western portion of Subarea A on the west side of Monterey Drive has 16 townhouses oriented east-west in three-unit and five-unit buildings (Buildings 4-7). These units face the proposed bio-retention basin. The proposed layout is consistent with the preliminary development plan and the approved development text.

Development Standards

The proposal meets the five-unit per building maximum required in the approved text. The 70 percent limit on residential lot coverage is also met. All perimeter setbacks for buildings and pavement are also met. The required 10-foot minimum separation between each building is met. Allowed encroachments into the front and side yard setback for stoops, steps, window wells and porches are shown on Buildings 1-3 along the east side of Monterey Drive.

Access

Access to the eastern portion is from Monterey Drive to the south, which aligns with the southern access point for the western residential portion. This single access point is connected by a 23-foot wide private drive that runs behind the townhouse buildings for access to the garages and to Subarea B.

Two driveways from Monterey Drive are provided for the western portion of Subarea A connecting to a 23-foot wide private drive that provides access to the garages.

Parking

The Code requires 63 spaces (2.5 for each dwelling unit). A total of 125 parking spaces are provided.

The eastern residential portion has 49 spaces, 40 of which are in two, 3-car garages and seven, 2-car garages and in the driveways. Parallel parking along the eastern side of the private drive provides the nine remaining spaces.

The western residential portion has 76 spaces, 68 of which are in two, 3-car garages and fourteen, 2-car garages and in the driveways. Parallel parking along the western side of the private drive provides the eight remaining spaces.

Pedestrian Connectivity

Existing four-foot sidewalks are located on both sides of Monterey Drive and will be maintained or repaired as required in the approved text. Engineering has determined that the existing sidewalks need to be repaired as part of this project. The proposed plan provides access to the sidewalks along Monterey Drive from the interior of the site. Each of the townhouses on the east side of Monterey Drive has a four-foot concrete private walk that leads directly to the public sidewalk. Sidewalks are not provided from the front of Buildings 1-3 to the garages and parallel parking spaces located behind the units in the private drive. This can be corrected by adding a four-foot concrete sidewalk from the front of the buildings between Buildings 1 and 2, and Buildings 2 and 3.

The townhouses on the west side of Monterey Drive have a four-foot concrete private walk connecting to sidewalks surrounding the bio-retention basin and connecting to the public sidewalk. The four-foot walk surrounding the proposed basin provides pedestrian connectivity in all directions off the path. The proposed paths extend north and south between the buildings to the garages, as well as connections off-site. The plan also shows a required connection to the south to the existing partial path in Monterey Park. A future pedestrian connection is also shown for the properties to the north, should it be developed in a compatible manner, as specified in the text.

Bikepath

At some point the City will extend the existing bikepath within Monterey Park west through the park and connect with Corbins Mill Drive, however, the timing of this improvement is unknown and the text requires the applicant to make an equitable contribution towards its construction.

Architecture

Residential architecture must adhere to the Residential Appearance Code, including the use of high quality materials and a design that is harmonious with the Historic District. Building height is limited to 35 feet. Decorative front and garage doors, full-size shutters that appear operable, and appropriately scaled entry columns were also required. The elevations provided at the final development plan must also comply with those presented to City Council on August 18, 2008. The proposed architecture and design adhere to these requirements.

The final development plan includes seven buildings with detailed architectural elevations that include front porches with metal roofs and decorative front doors, decorative entry columns, chimneys and wood windows with shutters and lintel and sills. The proposed rooflines vary between units and include gable elements and gabled windows, but meet the maximum building height of 35 feet. Each building has a detached garage building located behind the main building along the private drive. The proposed garage elevations include decorative doors, gabled roofs, a masonry base, small windows and cupolas.

Building Materials

Permitted materials within the approved development text include brick, stone, vinyl and cementitious siding for facades and wood, EIFS, vinyl, engineered trim or fiber-cement products for trim. Roofing material may be dimensional asphalt shingles, wood, slate, copper, standing seam metal and tile. All chimneys must be finished with masonry.

The applicant has proposed the use of the following materials:

- Brick (*Stratford, Glen-Gery*)
- Stone (*Ohio Heritage Stone and Rockcast, Smooth Sandstone*)
- High-quality, insulated vinyl siding product in three styles: lap siding, board and batten, and hand-split cedar shake (*Crane: Craneboard 7, Portsmouth Shake, and Board and Batten*). The development text limits the use of vinyl siding to a maximum of 30 percent of the total sum of the surface area of the front and side façades of each residential building.

The applicant has provided the percentage of masonry and vinyl on the front and side façades for each residential building and garage, which indicates vinyl siding does not exceed 27 percent vinyl siding. The proposed front and side elevations for Buildings 2-7 also show adherence to these requirements, with the use of vinyl limited to one unit on the three-unit buildings and two units on the five-unit buildings. Building 1 indicates the use of vinyl siding on two of the three units, which appears to be a drafting error that will need to be switched to masonry in order to meet the text requirements.

The rear of the dwelling units and interior sides of each of building incorporate a greater proportion of vinyl siding with two units on the three-unit buildings and four units on the five-unit buildings using siding. The predominant vinyl style proposed along the rear elevations is vinyl lap siding. Planning recommends the use of the vinyl cedar shake style to provide added architectural interest, which would apply to the inside units on Buildings 1 and 3-7.

The text limits the use of vinyl siding to 25 percent of the surface area of the rear façade of each garage that faces a private drive, which the proposal meets with the total percent of vinyl under 22 percent along the rear façade. The proposed elevations indicate the use of vinyl within the pediments along the rear façade, with the main garage building finished in brick and stone.

Privacy Fences

Permitted six-foot high privacy fences are proposed between each dwelling unit and its garage to create private courtyards (see below). The fences for the internal units will be constructed of a five-foot wood board fence with a one-foot basket weave lattice on top, finished to coordinate with the unit design. Fencing on the ends of buildings is required to be constructed of masonry that is complementary to the building architecture. These are proposed for the building ends facing Monterey Drive and the private drives. The proposed material for the fences on the building ends that face each other is wood. While the materials do not meet the strict language of the text, the fences are located internal to the site and complement the architecture of the interior units.

Courtyards

Courtyard areas are proposed between the rear of the living units and garages, separated by the proposed privacy fences. The building envelopes and maximum square footages for each townhouse courtyard vary throughout the development. The courtyards can include patios constructed of concrete, stone, pervious pavers, impervious pavers or any combination of these materials. The final patio shape and design will be approved with the building permit but may not exceed the maximum square footage specified for a particular unit.

Entry Walls

The proposal includes two stone walls with columns on either side of the central pedestrian walk on the west side of Monterey Drive. The three-foot tall, dry-laid stone wall will extend approximately 35 feet north and south from each side of the sidewalk, parallel to Monterey Drive. The walls will be flanked by a five-foot tall stone column with a concrete cap at the sidewalk and a four-foot tall stone column with a concrete cap at the other end. No signs are proposed with the entry walls.

Mailboxes

The proposal also includes groups of mailboxes located along the private drive. The mailboxes on the east side are proposed in groups of three, and groups of eight on the west side. Each group will be mounted on a frame wood and painted to match the trim on the houses.

Lighting

Each residential unit will have painted (dark bronze-Murray Feiss) carriage lights at the front and rear entrances of each unit and each garage.

Landscaping

Condominium Units

The text requires landscaping on the front of each dwelling unit with foundation plantings and an ornamental tree, and shall be consistent and/or complementary for all units within the same building. This requirement is met through a mix of deciduous and evergreen

shrubs, ornamental grass and ornamental trees. Landscaping with a small lawn area and an ornamental tree are also proposed along the private drives.

Property Perimeter Screening

Considering the intended preservation of existing trees along the boundaries of the site, strict adherence to the Code required perimeter buffering is difficult to achieve. The text allows the intent of the Code for perimeter buffering to be met by adding to the existing vegetation. The proposed plans achieve the desired buffering effect through layered plantings of deciduous and semi-evergreen shrubs that vary in mature height and size.

The text includes exceptions for perimeter buffering along the shared boundary line with Subarea C (open space) to be approved with the final development plan. The proposed landscape plans provide the Code required three-foot hedge and 40-foot spaced trees; however, Planning is concerned with the rigid design of the proposed plantings, particularly with respect to the unique nature of the cemetery. Planning recommends that a more natural design be used along this boundary.

Bio-retention Basin

A bio-retention basin for the entire site with extensive landscaping is proposed in the center of the western portion of Subarea A to accommodate stormwater water quality and quantity. The text requires a forced and funded homeowner's association to maintain the proposed basin, and requires a landscape inspection every three years to ensure it is functioning and maintained properly.

The proposed plants consist of a mix of perennials, shrubs, and trees located according to their vegetative requirements. Plants that are more accustomed to wet to moist soil are located towards the bottom of the basin. Plants that can accommodate moist to dry soil are located along the lower slope of the basin while plants that like dryer soil are located at the top of the basin. Shrubs and deciduous trees tolerant of varying conditions are planted throughout the basin to provide visual structure and seasonal interest. The proposed plans indicate that the basin will not be installed until construction of the entire area west of Monterey Drive is complete to ensure the stormwater component provided by the basin is not compromised.

Subarea B – Commercial

Layout

Subarea B, the commercial portion of the project, is located on the east side of Monterey Drive, with frontage along the south side of West Bridge Street. The proposed 12,000-square-foot, one-story commercial building faces West Bridge Street with parking primarily to its south. Patios are located along the north side along West Bridge Street.

Development Standards

The text limits this Subarea to one building with a maximum size of 12,000 square feet. The text permits a one-foot setback from the West Bridge Street right-of-way, which emulates the development pattern of the Historic District. The proposal adheres to these requirements, as well as a 10-foot building and pavement setback from Monterey Drive; a 10-foot pavement, refuse

container, and 25-foot building setback along the Subarea's eastern and southern boundaries; and lot coverage limit.

The text permits 3,000 square feet of outdoor dining patios, if approved through a conditional use. Four patio spaces are shown at the western corners, along the northern elevation, and northeast of the building.

Due to the building location and the proposed right-of-way, a majority of the patios are located within the right-of-way. Encroachments into the right-of-way must be approved by the City Engineer and by City Council. Portions of the structures within the right-of-way will need to be of a crash worthy design and material for a design speed 35 mph. Any City sponsored future improvements within the right-of-way may require the alteration and/or removal of private encroachments. All construction and maintenance of the items located in the right-of-way associated with the proposed patios are the sole responsibility of the property owner/developer.

Permitted Uses

The development text permits uses within the NC, Neighborhood Commercial District, CC, Community Commercial District, and HB, Historic Business Districts. Others include dry cleaning services, art galleries, and wine and other specialty stores. The text excludes liquor stores, vehicle and automotive accessory dealers, other equipment sales, hotels, motels, and funeral homes. As noted, outdoor dining patios, restaurants, taverns, nightclubs, lounges, and dance halls are allowed only through a conditional use.

Access

Three driveways serve this Subarea. A right-in only drive is permitted from West Bridge Street, approximately 180 feet east of the intersection with Monterey Drive. A full access driveway is provided from Monterey Drive to the parking lot. A gated, third access from the south is provided from the private drive within Subarea A. The text requires that the gate will function at all times to restrict traffic from Subarea B to Subarea A (the eastern residential area). The gate will be maintained by the homeowner's association and has been approved by the Washington Township Fire Department.

Parking

One parking space is required for every 200 square feet of gross floor area and patio space, regardless of use, yielding 75 required spaces, 60 for the building and 15 for the patios. The proposed plan indicates 66 spaces. The on-street parking on both sides of Monterey Drive will be eliminated with this development to establish proper site visibility from the new driveways.

The Planning and Zoning Commission may approve an alternative parking arrangement if it finds that the applicant has demonstrated that other off-site provisions are made. The applicant has not provided any information regarding alternative parking arrangements. Considering the development's urban location and proximity to the Historic District, the reduced parking requirements may be appropriate. The Commission may also limit approvals for the patio area, unless other parking arrangements are sought.

Architecture

The approved text requires the use of high quality materials and a design that is harmonious with the Historic District with building height limited to 35 feet. The development text requires the appearance of a two-story building with architecture similar to what is found in the Historic District. Permitted materials include brick, stone, vinyl and cementitious siding for facades and wood, EIFS, vinyl, engineered trim or fiber-cement products for trim. Roofing material may be dimensional asphalt shingles, wood, slate, copper, standing seam metal and tile. All chimneys must be finished with masonry.

The commercial building elevations maintain the two-story appearance for the majority of the building. The building includes varied rooflines with differing materials, including standing seam (*Dimensional Metals-Weathered Zinc*) and dimensional asphalt shingles (*Landmark Series-Weathered Wood*). Articulated fenestration and appropriate building materials are provided on all sides of the building. The elevations indicate the use of brick (*Stratford, Glen-Gery*) and stone (*Ohio Heritage Stone* and *Rockcast, Smooth Sandstone*) on the main building façades, and vinyl siding (*Crane, Craneboard 7-Clay* and *Portsmouth Shake-Saddle*) are limited to trim and within the pediments located under the roof gables. The proposed color palette is consistent with the neutral, earthtones required in the development text.

Landscaping

The text permits the property perimeter screening to be met through the augmentation of the existing tree rows in lieu of strict adherence to the Code. Landscaping along the east and south perimeter meets this intent through the use of layered plantings, similar to what was used in the residential portion, with the use of deciduous and semi-evergreen shrubs that vary in mature height and size. Vehicular use area screening requirements on the west side of the proposed parking area along Monterey Drive are met with a 3½-foot hedge and one tree planted at 40 foot intervals. Interior parking landscaping requirements have also been met; however, Planning has identified two replacement trees that will need to be switched with two required trees in order to count the landscape island.

Sign Plan

A sign plan is required with the final development plan to provide uniform graphic and sign standards for this Subarea. The text permits each tenant one wall sign and one double-faced hanging sign facing on a storefront (the façade facing a public right-of-way). Each tenant is also permitted one wall sign or one double-faced hanging sign at the entrance from the parking lot. The text also permits the tenant on the western end of the building one additional double-faced hanging sign on the façade facing Monterey Drive.

The proposed sign plan indicates wooden, rectangular wall and hanging signs with quarter-round cutouts at the corners and a routed perimeter. All signs will be a two-tone color combination with “Tavern Green” for the background color and “Gold” for the V-cut copy, graphics and routed perimeter of the sign.

The hanging signs will be mounted with a 30-inch triangle ball blade sign bracket with a dark bronze powder coat finish. The maximum dimensions permitted for the proposed hanging signs are 1-foot, 4 inches by 2-foot, 1¼ inches.

The applicant has provided two sample sizes for the wall signs, which would permit a 35 square foot sign or a 21.5 square foot sign. Planning recommends that the details be revised to limit each wall sign to 1.5-foot by 8-foot (12 square feet) to be compatible with the sign plan for Town Center I and the Bridge and High Development. Per Code, the maximum permitted sign height is 15 feet from grade to the top of the sign. The proposed tenant sign plan indicates all sign locations at less than 15 feet.

Lighting

The development text requires lighting complement the character of Historic Dublin, be decorative in nature, and coordinate with the building architecture. Two, 15-foot tall, dark bronze, decorative fixtures (*Fairfax Lane FLCS Series*) are provided for parking lot lighting. Dark bronze, carriage lanterns (*The Federalist*) will be mounted on the outside of the building. Lighting meets all text requirements. A photometrics plan must be submitted with the building permit application to ensure the proposed lighting meets the *Exterior Lighting Requirements* and minimize light trespass to adjacent development.

The text required external illumination of wall-mounted signs is met with the use of dark bronze gooseneck fixtures (*Hooks & Lattice*). The hanging signs will be illuminated with a bullet sign light on located on both sides of the sign and finished with a dark bronze powder coat to match the sign bracket (*Hooks & Lattice*).

Service Screening

A dumpster is located in the southeast corner of the parking lot and enclosed on three sides with stone walls and a wood gate. Designated service and mechanical areas are along the rear (south) elevation. Screening is provided by a six-foot tall wood fence and landscaping. The fence incorporates the mailboxes for the tenants and will be finished to coordinate with the building design.

Subarea C – Open Space

Layout

Subarea C is located south of Subarea B and east of Subarea A. This 0.5-acre Subarea is immediately adjacent to the Dublin Cemetery, and will be owned and maintained by the City of Dublin. The text permits its use for a cemetery in conjunction with expansion of the Dublin Cemetery or as open space, subject to Planning approval. The remaining 0.3-acre of open space is located throughout the site.

Other Site Information

Traffic

The applicant's traffic impact study (TIS), reviewed and accepted by Engineering, shows that a traffic signal at the intersection of West Bridge Street and Monterey Drive will be warranted once the commercial portion of the site is fully occupied, unless traffic volumes are proven to meet the signal warrants. The applicant is responsible for the design and installation of the signal. Plans for the signal design should be provided at the time of building permit application for Subarea B.

Utilities

There is a 12-inch water line on the east side of Monterey Drive to serve the entire site. An eight-inch sewer runs north on the west side of Monterey Drive then turns east to run along the northern property line of Subarea A (residential portion). Subareas A and B should utilize this existing mainline. The applicant has requested to open cut Monterey Drive to install water service. Open cutting is typically not permitted, however, the City has determined that Monterey Drive is to be resurfaced in 2009 and as long as deemed acceptable, the City will delay resurfacing the road to allow the open cutting.

Stormwater Management

The proposed bio-retention basin is designed to serve the stormwater water quality and quantity functions for the entire site. In addition, the text permits the use of permeable pavement for the private drives including driveways and the parallel parking areas to offset the amount of stormwater run-off. The design of private drive pavement (pavers) will need to meet the approval of the City Engineer. The applicant has submitted preliminary calculations for the stormwater management plan for the site and additional details will need to be provided during building permit review to ensure compliance with the Stormwater Management Regulations.

Right-of-Way Dedication

The Thoroughfare Plan calls for a 60 foot right-of-way for Monterey Drive, which currently has 50-feet. However, no additional right-of way dedication will be required as part of this project. The Thoroughfare Plan also requires 112 feet of right-of-way for West Bridge Street and the applicant must dedicate a total of 56-feet of right-of-way, as measured from the centerline of West Bridge Street. The final development plan does not accurately depict the right-of-way line at the intersection of West Bridge Street and Monterey Drive, which requires the right-of-way to be chamfered per Code Section 152.019. The plans will need to be revised in accordance with the Code and all right-of-way shall be dedicated prior to issuance of a building permit.

Street Trees

The existing street trees along both sides of Monterey Drive will be maintained or replaced as needed. The installation of any new street trees shall be in accordance with the Zoning Code and be subject to approval by the City Forester.

Tree Preservation

Code requires any trees greater than six inches in diameter and considered in good or fair condition be replaced inch-for-inch. A tree survey indicates the removal of 70 trees with a total caliper of 1,098 caliper inches that will need to be replaced. Planning's evaluation of the survey identified 109 trees with a total of 1,877 caliper inches of which 1,217 caliper inches will need to be mitigated. Landscape plans provide the on-site replacement of 182.5 caliper inches; the remainder will need to be mitigated through other means. Planning will continue to work with the applicant to ensure the tree survey and tree replacement plan correctly identify the number of inches that will be required to be replaced. Planning has identified the possible opportunity to plant replacement trees within existing parks or open spaces within the Historic District to offset the fee for the trees not planted on-site.

Open Space

Code requires 1.46 acres of open space for this development, which is in excess of the maximum of 25 percent of the site area to be provided. The plans indicate a provision of 0.8 acre of open space. The development text states that the open space requirement be the same as that indicated on the preliminary development plan. The final development plan adheres to this requirement.

SECTION II - REVIEW STANDARDS:

Final Development Plan:

The purpose of the Planned Unit Development process is to encourage imaginative architectural design and proper site planning in a coordinated and comprehensive manner, consistent with accepted land planning, landscape architecture, and engineering principles. The PUD process consists of up to three stages:

- 1) Concept Plan (Staff, Commission, and/or City Council review and comment);
- 2) Zoning Amendment Request (Preliminary Development Plan; Commission recommends and City Council approves/denies); and
- 3) **Final Development Plan (Commission approves/denies).**

The intent of the final development plan is to show conformance with and provide a detailed refinement of the total aspects of the approved preliminary development plan (rezoning). The final development plan includes all of the final details of the proposed development and is the final stage of the PUD process. The Commission may approve as submitted, approve with modifications agreed to by the applicant, or disapprove and terminate the process. If the application is disapproved, the applicant may respond to Planning and Zoning Commission's concerns and resubmit the plan. This action will be considered a new application for review in all respects, including payment of the application fee. Appeal of any action taken by the Commission shall be to the Court of Common Pleas in the appropriate jurisdiction. Following approval by the Commission, the applicant may proceed with the building permit process.

Planning Opinion and Recommendation:

Section 153.055(B) of the Code identifies criteria for the review and approval of a Final Development Plan. The criteria are arranged in the following categories:

Adopted Policies and Plans (Criteria 1, 3, 9, & 10). The proposed plan conforms to the approved preliminary development plan, has adequate public facilities and open spaces, is carried out in progressive stages, and conforms to all other applicable zoning text and Code requirements.

Criteria may be met with conditions: The proposed plan conforms to the preliminary development plan and the Zoning Code in terms of uses, setbacks and lot coverage for the commercial and residential portions of the project.

The applicant will be required to dedicate 56-feet of right-of-way, as measured from the centerline on West Bridge Street, including the accurate right-of-way at the intersection of West Bridge Street and Monterey Drive prior to issuance of a building permit (Condition 1).

The maximum square footage for the proposed patios may be limited through the conditional use approval unless an alternative parking arrangement can be demonstrated (Condition 2).

A photometrics plan will be required to be submitted with the building permit application to ensure the proposed lighting meets the Zoning Code's *Exterior Lighting Requirements* and minimize light trespass to adjacent development (Condition 3).

Safety and Circulation (Criteria 2 & 5). The proposed plan provides for safe and efficient pedestrian and vehicular circulation and provides adequate lighting for such uses.

Criteria may be met with conditions: The proposed development maintains safe and efficient pedestrian and vehicular circulation, including streets and sidewalks.

Engineering has determined that the existing sidewalks on Monterey Drive are in disrepair and will need to be repaired as part of this project (Condition 4).

The proposed plans do not indicate any pedestrian connection from the front of the units to the garages and parallel parking spaces located in the private drive. A four-foot sidewalk needs to be provided from the front of the buildings between Buildings 1 and 2, and Buildings 2 and 3 (Condition 5).

The bikepath extension to Monterey Park will be constructed by the City; however, the timing of this improvement is unknown and the applicant is required to make an equitable contribution towards its construction, as required by the text (Condition 6).

Patios in the right-of-way will need to obtain a right-of-way encroachment from City Council and be designed to be crash worthy at a 35 mph design speed (Condition 7).

A signal at West Bridge Street and Monterey Drive can be installed when appropriate, but may not operate until Subarea B of the site is fully occupied, unless traffic volumes are proven to meet signal warrants, as approved by Engineering. The applicant is responsible for the design and installation of the signal (Condition 8).

Development Details (Criteria 4, 6, 7, & 8). The details of the development are sensitive to the natural characteristics of the site, include appropriate landscaping and signs, and provide adequate storm drainage.

Criteria may be met with condition: The proposal plans adheres to the landscape and sign provisions of the Code and the approved development text. The modifications to the interior landscape requirements and the tree replacement must be resolved prior to the issuance of a building permit (Condition 9).

Appropriate revisions must be made to the proposed architecture as outlined in this Report (Condition 10).

SECTION III - RECOMMENDATION: Approval with conditions

In Planning's opinion the final development plan is consistent with the standards and conditions approved with the rezoning/preliminary development plan and with the final development plan criteria set forth in Section 153.050 of the Dublin Zoning Code. Planning recommends approval of the request with eleven conditions.

Conditions:

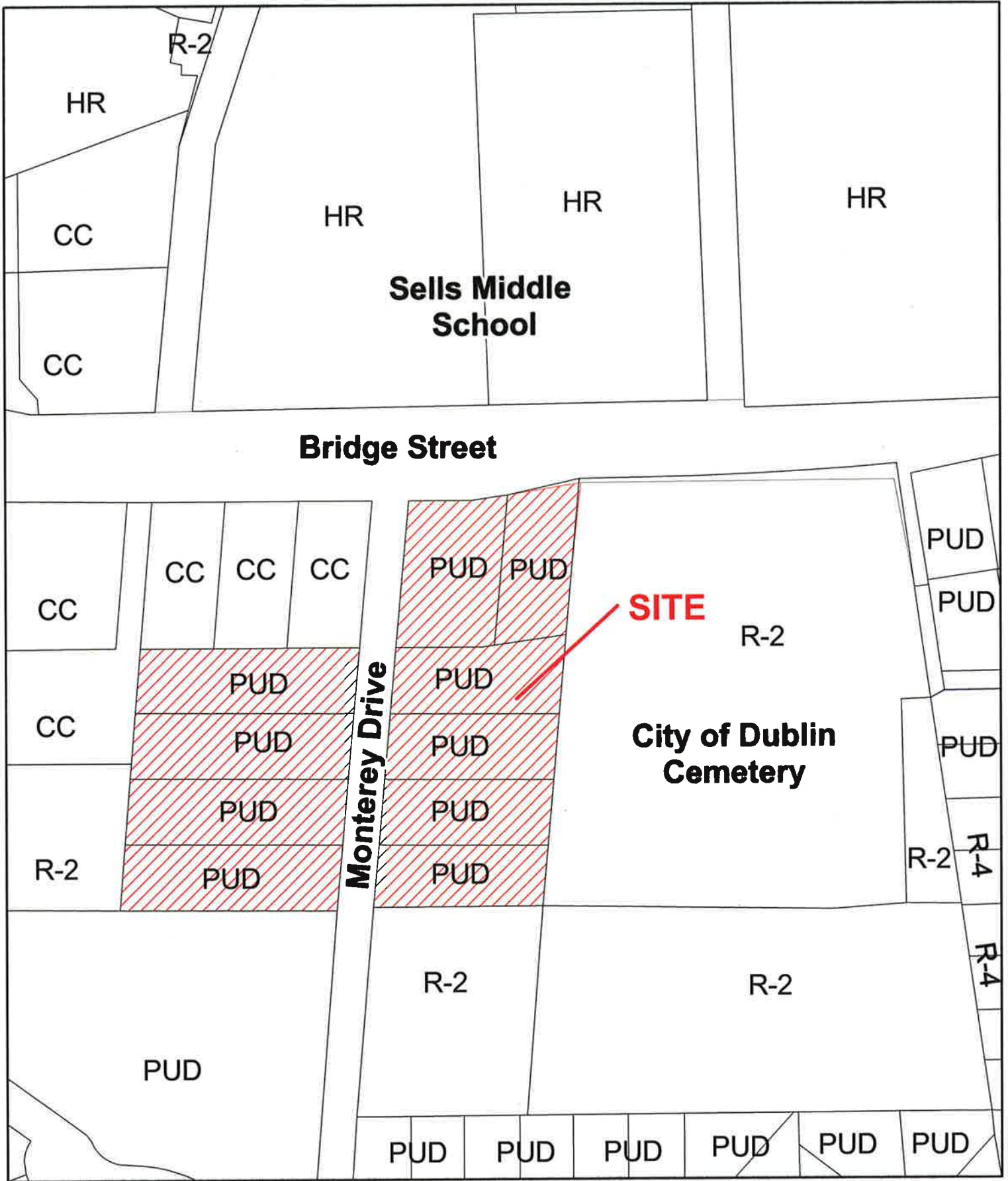
- 1) The applicant will be required to dedicate 56-feet of right-of-way, as measured from the centerline on West Bridge Street, including the accurate right-of-way at the intersection of West Bridge Street and Monterey Drive prior to obtaining a building permit;
- 2) The maximum square footage for the proposed patios may be limited through conditional use approval unless an alternative parking arrangement can be demonstrated;
- 3) A photometrics plan will be required to be submitted at the time of building permit to ensure the proposed lighting meets the Zoning Code *Exterior Lighting Requirements* and minimize light trespass to adjacent development;
- 4) The existing sidewalks will need to be repaired as part of this project;
- 5) A four-foot sidewalk needs to be provided from the front of the buildings between Buildings 1 and 2, and Buildings 2 and 3;
- 6) The applicant is required to make an equitable contribution towards the construction of the bikepath extension within Monterey Park, as required within the text;
- 7) Patios in the right-of-way will need to obtain a right-of-way encroachment from City Council and be designed to be crash worthy at a 35 mph design speed;
- 8) The applicant shall be responsible for the design and installation of a traffic signal at the intersection of West Bridge Street and Monterey Drive, which will not operate until either Subarea B is fully occupied or signal warrants are met, as approved by Engineering;
- 9) That the landscape comments provided within the report be addressed, prior to the issuance of a building permit; and
- 10) The appropriate revisions be made to the proposed architecture as outlined in this Report.
- 11) The sign details be revised to limit each wall sign to 1.5-foot by 8-foot (12 square feet) to be compatible with the sign plan for Town Center I and the Bridge and High Development.

Final Development Plan

Review Criteria:

In accordance with Section 153.055(B) *Plan Approval Criteria*, the Code sets out the following criteria of approval for a final development plan:

- 1) The plan conforms in all pertinent respects to the approved preliminary development plan provided, however, that the Planning and Zoning Commission may authorize plans as specified in §153.053(E)(4);
- 2) Adequate provision is made for safe and efficient pedestrian and vehicular circulation within the site and to adjacent property;
- 3) The development has adequate public services and open spaces;
- 4) The development preserves and is sensitive to the natural characteristics of the site in a manner that complies with the applicable regulations set forth in this Code;
- 5) The development provides adequate lighting for safe and convenient use of the streets, walkways, driveways, and parking areas without unnecessarily spilling or emitting light onto adjacent properties or the general vicinity;
- 6) The proposed signs, as indicated on the submitted sign plan, will be coordinated within the Planned Unit Development and with adjacent development; are of an appropriate size, scale, and design in relationship with the principal building, site, and surroundings; and are located so as to maintain safe and orderly pedestrian and vehicular circulation;
- 7) The landscape plan will adequately enhance the principal building and site; maintain existing trees to the extent possible; buffer adjacent incompatible uses; break up large expanses of pavement with natural material; and provide appropriate plant materials for the buildings, site, and climate;
- 8) Adequate provision is made for storm drainage within and through the site which complies with the applicable regulations in this Code and any other design criteria established by the City or any other governmental entity which may have jurisdiction over such matters;
- 9) If the project is to be carried out in progressive stages, each stage shall be so planned that the foregoing conditions are complied with at the completion of each stage; and
- 10) The Commission believes the project to be in compliance with all other local, state, and federal laws and regulations.

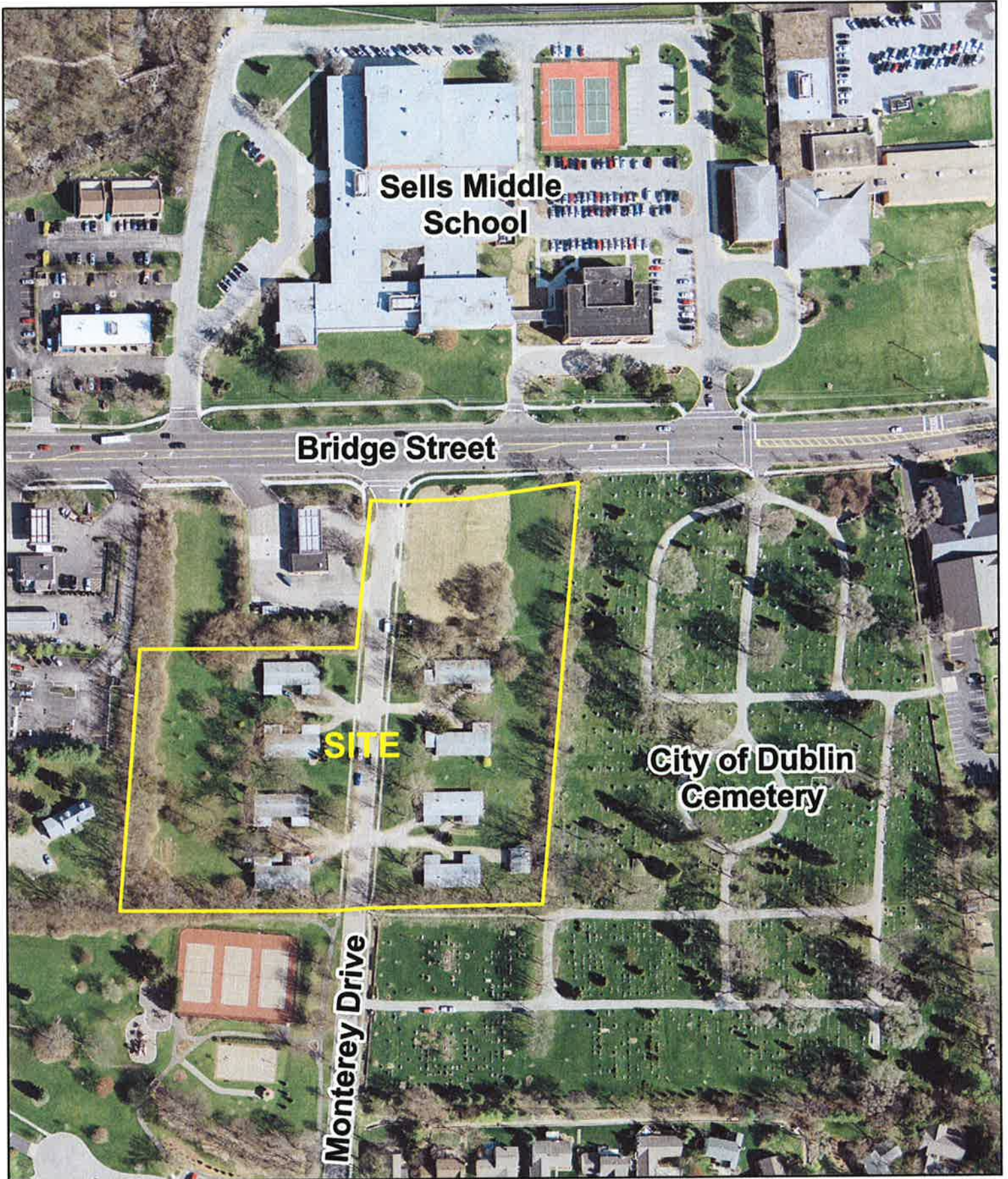


City of Dublin
Land Use and
Long Range Planning

Waterford Commons
08-092 FDP
Monterey Dr. & Bridge St.



0 150 300
Feet



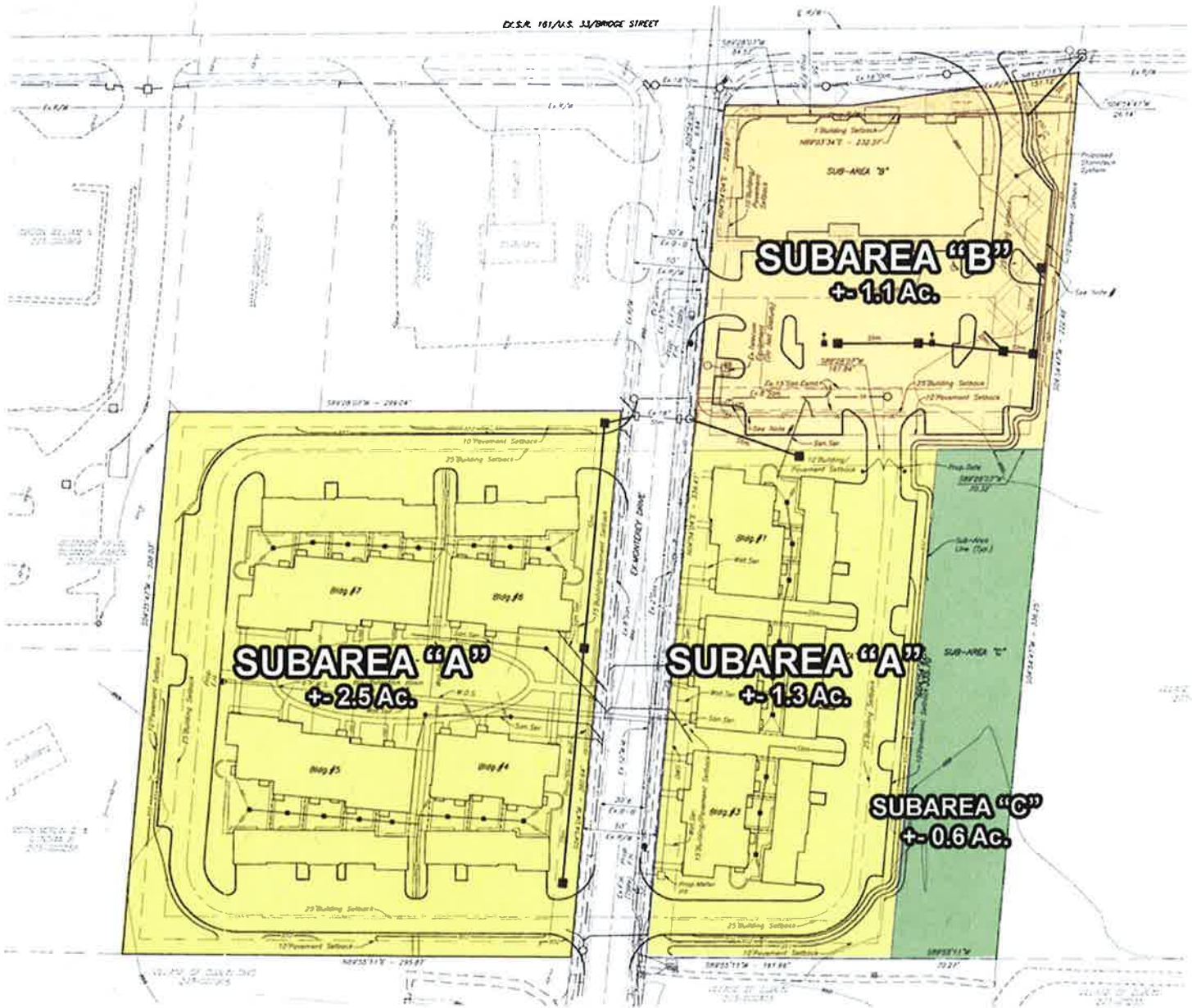
City of Dublin
Land Use and
Long Range Planning

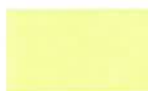


Waterford Commons
08-092 FDP
Monterey Dr. & Bridge St.



0 150 300
Feet

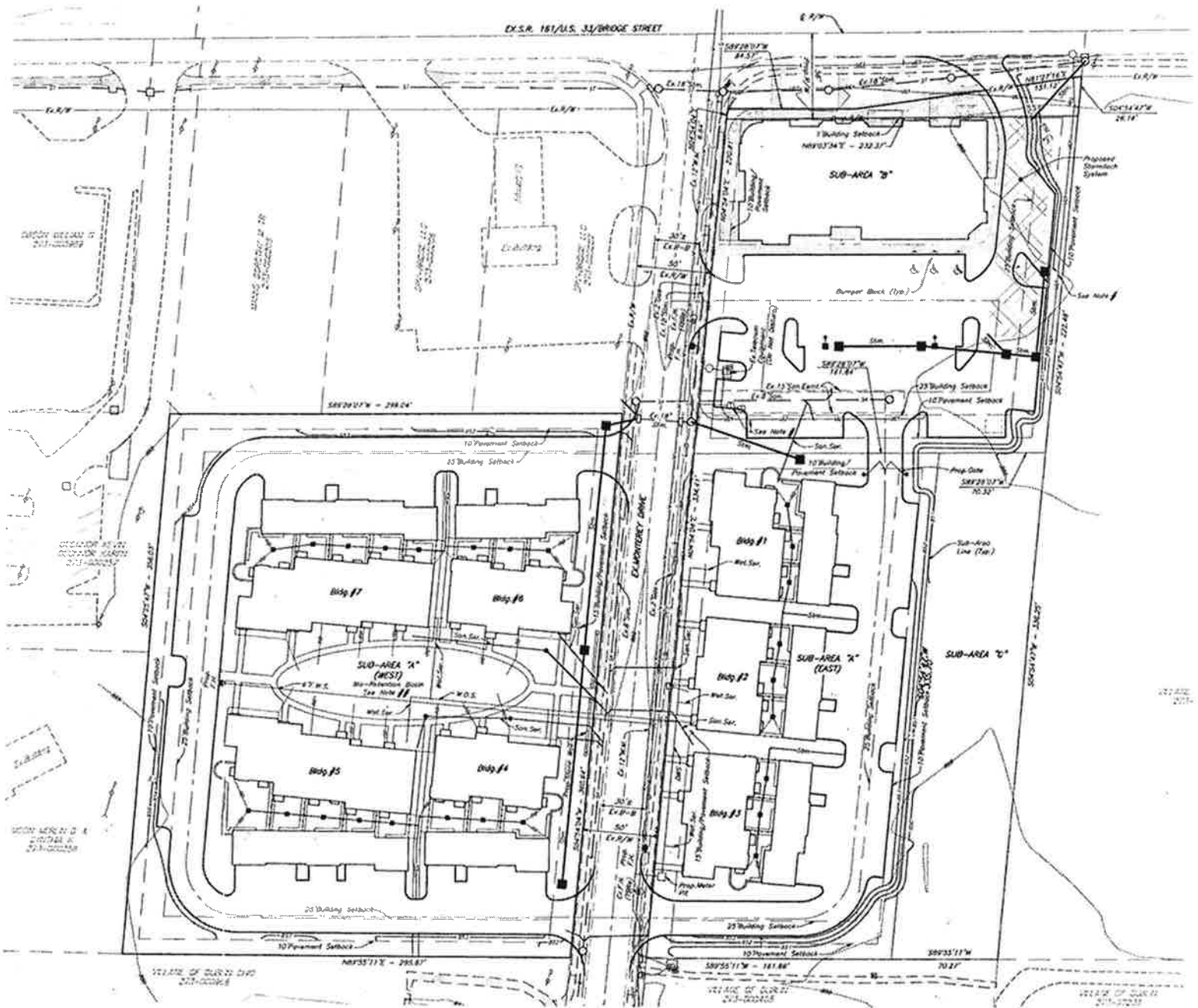
PROPOSED SUBAREA PLAN



-  Subarea "A" (Townhomes)
-  Subarea "B" (Commercial)
-  Subarea "C"

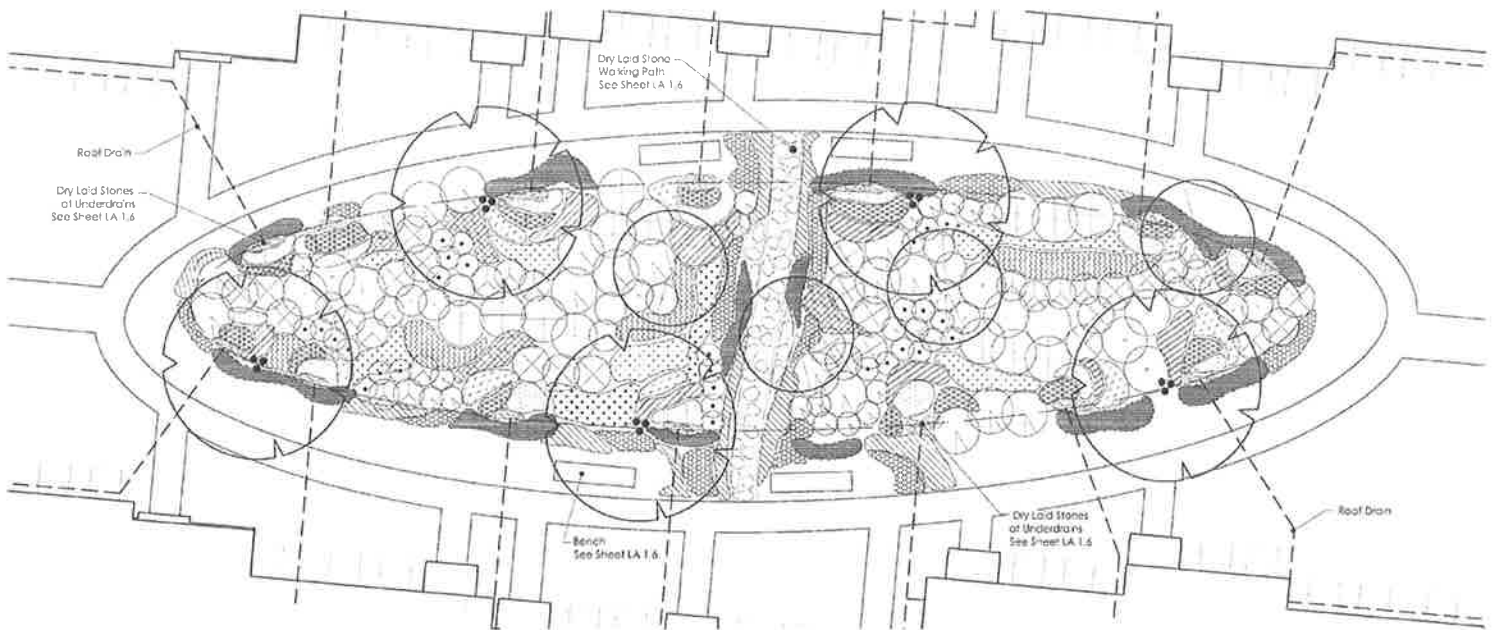
08-092FDP
Waterford Commons
Monterey Drive/West Bridge Street

PROPOSED SITE PLAN



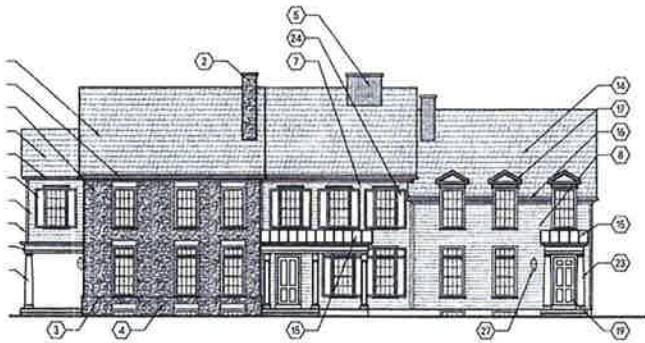
08-092FDP
Waterford Commons
Monterey Drive/West Bridge Street

PROPOSED BIO-RETENTION BASIN

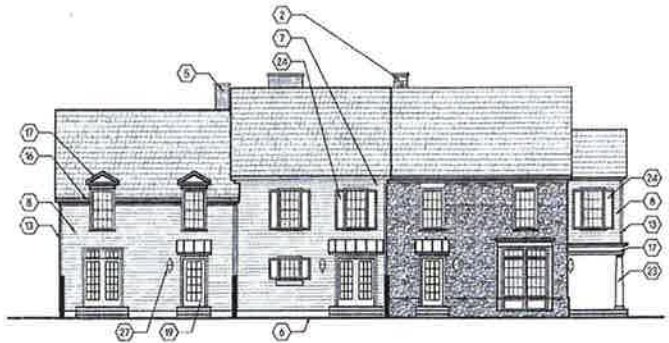


PROPOSED RESIDENTIAL ELEVATIONS

BUILDING 1



WEST ELEVATION (TOWNHOME)
VIEW FROM MONTEREY DRIVE



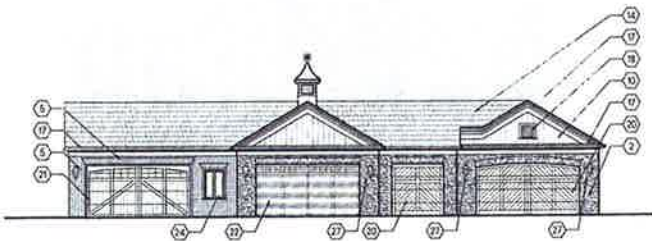
EAST ELEVATION (TOWNHOME)



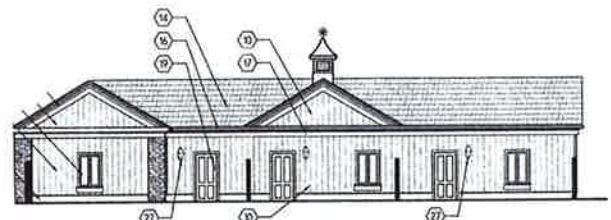
NORTH ELEVATION
(TOWNHOME/GARAGE)



SOUTH ELEVATION
(TOWNHOME/GARAGE)



EAST ELEVATION (GARAGE)



WEST ELEVATION (GARAGE)

BUILDING LEGEND

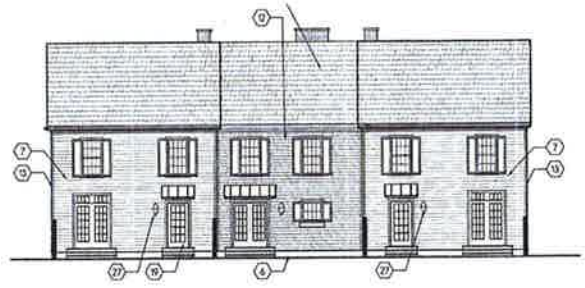


PROPOSED RESIDENTIAL ELEVATIONS

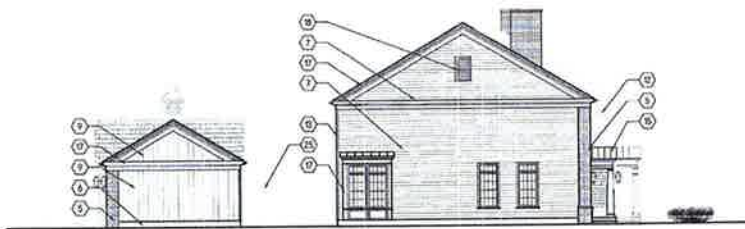
BUILDING 2



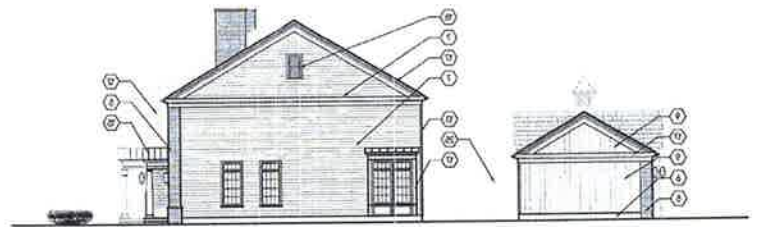
WEST ELEVATION (TOWNHOME)
VIEW FROM MONTEREY DRIVE



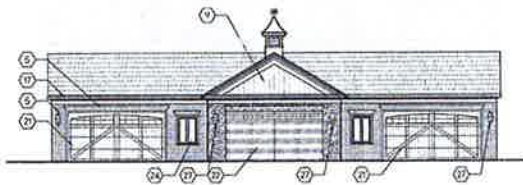
EAST ELEVATION (TOWNHOME)



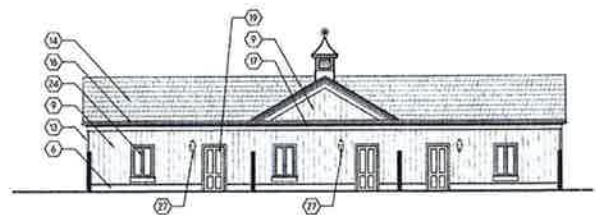
NORTH ELEVATION
(TOWNHOME/GARAGE)



SOUTH ELEVATION
(TOWNHOME/GARAGE)



EAST ELEVATION (GARAGE)



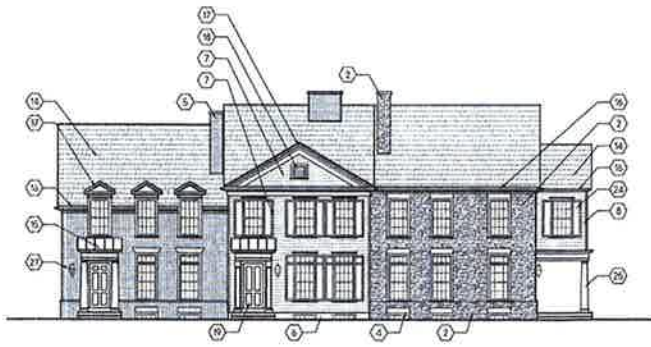
WEST ELEVATION (GARAGE)

BUILDING LEGEND

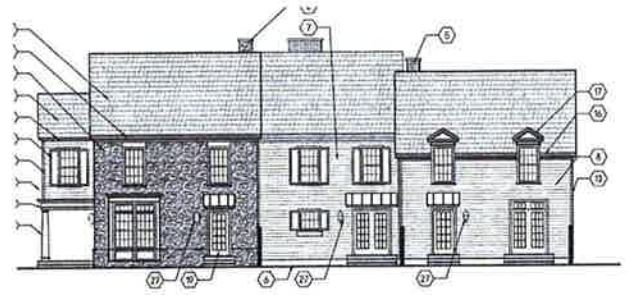


PROPOSED RESIDENTIAL ELEVATIONS

BUILDING 3



WEST ELEVATION (TOWNHOME)
VIEW FROM MONTEREY DRIVE



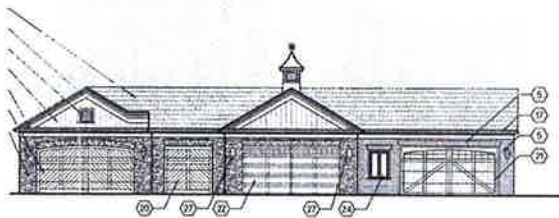
EAST ELEVATION (TOWNHOME)



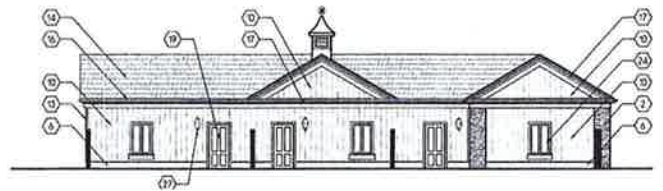
NORTH ELEVATION
(TOWNHOME/GARAGE)



SOUTH ELEVATION
(TOWNHOME/GARAGE)



EAST ELEVATION (GARAGE)



WEST ELEVATION (GARAGE)

BUILDING LEGEND

