



CITY OF DUBLIN,

Land Use and
Long Range Planning
5800 Shier-Rings Road
Dublin, Ohio 43016-1236

Phone/ TDD: 614-410-4600
Fax: 614-410-4747
Web Site: www.dublin.oh.us

PLANNING AND ZONING COMMISSION APPLICATION

(Code Section 153.232)

I. PLEASE CHECK THE TYPE OF APPLICATION:

<input type="checkbox"/> Preliminary Development Plan / Rezoning (Section 153.053)	<input type="checkbox"/> Final Plat (Section 152.085)
<input type="checkbox"/> Standard District Rezoning (Section 153.018)	<input type="checkbox"/> Minor Subdivision
<input type="checkbox"/> Informal Review	<input type="checkbox"/> Right-of-Way Encroachment
<input type="checkbox"/> Concept Plan (Section 153.056(A)(1))	<input type="checkbox"/> Conditional Use (Section 153.236)
<input checked="" type="checkbox"/> Final Development Plan (Section 153.053(E))	<input type="checkbox"/> Corridor Development District (CDD) (Section 153.115)
<input type="checkbox"/> Amended Final Development Plan (Section 153.053(E))	<input type="checkbox"/> CDD Sign (Section 153.115)
<input type="checkbox"/> Preliminary Plat (Section 152.015)	<input type="checkbox"/> Other (Please Specify): _____

II. PROPERTY INFORMATION: This section must be completed.

Property Address(es): 49 Monterey Drive		
Tax ID/Parcel Number(s):	273-000212	Parcel Size(s) (Acres):
273-000208	273-000213	4.97± total
273-000209	273-000214	
273-000211	273-000215	
Existing Land Use/Development: residential; vacant		

IF APPLICABLE, PLEASE COMPLETE THE FOLLOWING:

Proposed Land Use/Development:	Townhomes; Commercial
Total Acres to be Rezoned:	N/A

III. CURRENT PROPERTY OWNER(S): Please attach additional sheets if needed.

Name (Individual or Organization):	Grabill & Company, LLC et al	*see attached list of property owners
Mailing Address: (Street, City, State, Zip Code)	109 S. High Street Dublin, Ohio 43017	
Daytime Telephone:	(614) 389-0721	Fax:
Email or Alternate Contact Information:	pat@grabill.biz	

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IV. APPLICANT(S): This is the person(s) who is submitting the application if different than the property owner(s) listed in part III. Please complete if applicable.

Name: Pat Grabill	Applicant is also property owner: yes <input checked="" type="checkbox"/> no <input type="checkbox"/>
Organization (Owner, Developer, Contractor, etc.):	Grabill & Company, LLC
Mailing Address: (Street, City, State, Zip Code)	109 South High Street Dublin, Ohio 43017
Daytime Telephone: (614) 389-0721	Fax:
Email or Alternate Contact Information:	pat@grabill.biz

V. REPRESENTATIVE(S) OF APPLICANT / PROPERTY OWNER: This is the person(s) who is submitting the application on behalf of the applicant listed in part IV or property owner listed in part III. Please complete if applicable.

Name: Aaron L. Underhill, attorney	
Organization (Owner, Developer, Contractor, etc.): Smith & Hale, LLC	
Mailing Address: (Street, City, State, Zip Code)	37 W. Broad Street - Suite 725 Columbus, Ohio 43215
Daytime Telephone: (614) 221-4255	Fax: (614) 221-4409
Email or Alternate Contact Information:	aunderhill@smithandhale.com

VI. AUTHORIZATION FOR OWNER'S APPLICANT or REPRESENTATIVE(S): If the applicant is not the property owner, this section must be completed and notarized.

I, Grabill & Company, LLC, the owner, hereby authorize the attorneys with the law firm of Smith & Hale LLC to act as my applicant or representative(s) in all matters pertaining to the processing and approval of this application, including modifying the project. I agree to be bound by all representations and agreements made by the designated representative.

Signature of Current Property Owner: By: [Signature] Date: 9-15-08

Check this box if the Authorization for Owner's Applicant or Representative(s) is attached as a separate document

Subscribed and sworn before me this 15th day of September, 2008

State of Ohio

County of Franklin

Notary Public



Stamp or Seal
LEE C. NASH
NOTARY PUBLIC, STATE OF OHIO
MY COMMISSION EXPIRES AUGUST 16, 2011

VII. AUTHORIZATION TO VISIT THE PROPERTY: Sites on the property by City representatives are essential to process this application. The Owner/Applicant, as notarized below, hereby authorizes City representatives to visit, photograph and post a notice on the property described in this application.

I, Aaron L. Underhill, attorney, the owner or authorized representative, hereby authorize City representatives to visit, photograph and post a notice on the property described in this application.

Signature of applicant or authorized representative: [Signature] Date: 9/15/08

VIII. UTILITY DISCLAIMER: The Owner/Applicant acknowledges the approval of this request for rezoning by the Dublin Planning and Zoning Commission and/or Dublin City Council does not constitute a guarantee or binding commitment that the City of Dublin will be able to provide essential services such as water and sewer facilities when needed by said Owner/Applicant.

I, Aaron L. Underhill, attorney, the owner or authorized representative, acknowledge that approval of this request does not constitute a guarantee or binding commitment that the City of Dublin will be able to provide essential services such as water and sewer facilities when needed by said Owner/Applicant.

Signature of applicant or authorized representative: Aaron Underhill Date: 9/15/08

IX. APPLICANT'S AFFIDAVIT: This section must be completed and notarized.

I, Aaron L. Underhill, attorney, the owner or authorized representative, have read and understand the contents of this application. The information contained in this application, attached exhibits and other information submitted is complete and in all respects true and correct, to the best of my knowledge and belief.

Signature of applicant or authorized representative: Aaron Underhill Date: 9/15/08

Subscribed and sworn to before me this 15th day of September, 2008
 State of Ohio
 County of Franklin Notary Public [Signature]



NOTE: THE OWNER, OR NOTED REPRESENTATIVE IF APPLICABLE, MUST RECEIVE A FACSIMILE COPY OF THIS APPLICATION PRIOR TO RECEIVING A FACSIMILE COPY OF THIS APPLICATION
 Notary Public, State of Ohio
 My Commission Expires 07-13-2012

FOR OFFICE USE ONLY			
Amount Received: <u>\$1800.00</u>	Application No: <u>08-092 PDP</u>	P&Z Date(s):	P&Z Action:
Receipt No: <u>6347</u>	Map Zone: <u>3</u>	Date Received: <u>9/16/08</u>	Received By: <u>[Signature]</u>
City Council (First Reading):		City Council (Second Reading):	
City Council Action:		Ordinance Number:	
Type of Request: <u>FINAL DEVELOPMENT PLAN</u>			
N, S, E, W (Circle) Side of: <u>MONTEREY DRIVE</u>			
N, S, E, W (Circle) Side of Nearest Intersection: <u>BRIDGE STREET</u>			
Distance from Nearest Intersection: <u>AT THE INTERSECTION</u>			
Existing Zoning District: <u>PUD</u>		Requested Zoning District: <u>PUD</u>	

NOTE: All applications are reviewed by Land Use and Long Range Planning for completeness prior to being processed. Applications that are incomplete will NOT be accepted. Applicants are strongly encouraged to contact Land Use and Long Range Planning for assistance and to discuss the Planning and Zoning Commission approval process, and if needed, to make an appointment for a pre-submittal review prior to submitting a formal application.

WATERFORD COMMONS

PLANNED DEVELOPMENT DISTRICT (PUD)

AUGUST 18, 2008

I. Description:

The Waterford Commons PUD is being created to facilitate the redevelopment of ten parcels of real property totaling 5.5 ± acres that are generally located on the east and west sides of Monterey Drive and south of Bridge Street. This project seeks to transform a number of properties into a vibrant new community that compliments the character of nearby Historic Dublin. This text sets standards for the development of twenty-five (25) townhomes that will produce residential opportunities within walking distance of neighborhood-scale restaurants, shops, and services. It also includes a retail component along Bridge Street and provides land for the expansion of the Dublin Cemetery.

II. Development Standards:

Unless otherwise specified in the submitted drawings or in this written text, the development standards of Chapter 153 of the City of Dublin Code shall apply. Basic development standards are compiled regarding proposed density, general site issues, traffic, circulation, landscaping, and architecture. These component standards ensure consistency and quality throughout the development.

III. Subarea A:

Subarea A is located on the east and west sides of Monterey Drive. This subarea consists of 3.7 ± acres and shall contain the residential component of the PUD.

A. Permitted Uses: Permitted uses shall include attached residential townhomes.

B. Density, Lot, and Setback Commitments:

1. Number of Units: The maximum number of dwelling units in Subarea A shall be twenty-five (25). Individual buildings shall contain a minimum of three (3) and a maximum of five (5) townhome units.

2. Setbacks (West of Monterey Drive): A minimum setback of ten (10) feet for pavement and twenty-five (25) feet for buildings shall be required from all perimeter boundaries, except that a minimum building and pavement setback of fifteen (15) feet shall be required from the Monterey Drive right-of-way.

3. Setbacks (East of Monterey Drive): A minimum setback of ten (10) feet for pavement and twenty-five (25) feet for buildings shall be required from the south and east property lines. A minimum setback of ten (10) feet for pavement and

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buildings shall be required from the north property line. A minimum building and pavement setback of fifteen (15) feet shall be required from the Monterey Drive right-of-way.

4. Other Setbacks: Due to their nature as attached townhomes, there shall be no side yard requirement between residential units. There shall be a minimum setback of ten (10) feet between buildings.

5. Encroachments: Stoops, steps, window wells, and porches on the front and side of each unit or building shall be permitted to encroach into an applicable setback up to five (5) feet. All other encroachments into setbacks shall be permitted in accordance with the City of Dublin Zoning Code.

6. Lot coverage: Impervious surfaces shall cover a maximum of seventy percent (70%) of this subarea.

C. Access, Parking, and other Traffic-Related Commitments:

1. Parking: An enclosed two (2) or (3) car garage shall be located to the rear of each unit. In addition, each unit shall provide for at least two (2) off-street parking spaces within the driveway behind the garage. A minimum of twelve (12) additional on-street parking spaces shall be provided in the subarea.

2. Circulation: Dwellings in this subarea shall be accessed via existing Monterey Drive. These dwellings shall be served by private drives and alleys that provide internal circulation within the subarea and shall be subject to the following standards:

a. Pavement width for private alleys shall be a minimum of twenty-two (22) feet.

b. Parking shall be permitted in private alleys in designated areas.

c. Maintenance of private alleys shall be the responsibility of a forced and funded homeowners or condominium association.

d. Unless otherwise set forth in this text, private alleys within this development shall be constructed in accordance with the City of Dublin Code and the standards established by the City of Dublin Engineer.

e. Existing public sidewalks shall be maintained or replaced as necessary along Monterey Drive. Private walks shall be provided from the front door of each unit to connect to sidewalks along Monterey Drive where applicable. All public sidewalks shall be constructed of concrete and in accordance with City standards.

f. The developer, through an agreement with the City's engineering staff, shall make an equitable contribution to the construction of an off-site bikepath to be constructed by the City to the south of the western side of Subarea A in Monterey Park. This path is expected to run generally from east to west to Corbin's Mill Road.

g. A private sidewalk shall extend both north and south from the bio basin area on the west side of Monterey Drive to provide pedestrian access to garages and the rear of townhome units. The southern sidewalk shall extend beyond the private alley to the southern boundary line of this subarea to provide pedestrian access to Monterey Park.

h. The owner of the portion of Subarea A found to the west of Monterey Drive or the homeowners or condominium association that serves this property shall make reasonable efforts to accommodate a pedestrian connection to adjacent properties to the north in the event that such properties are developed or redeveloped with uses that are compatible to those found in this subarea.

3. Pavement: In order to promote an environmentally friendly development, permeable pavement shall be permitted to be utilized in private alleys, parking areas, and on driveways serving individual units. This permeable pavement shall be designed to meet ODOT specifications as required by the Dublin Code, provided that it is approved by the Director of Engineering.

4. Access Gate: A gate shall be installed in Subarea A on the vehicular drive that connects the eastern portion of Subarea A to Subarea B. This gate shall serve the purpose of preventing commercial traffic in Subarea B from directly entering Subarea A. The gate shall have controlled access 24 hours a day, 7 days a week to allow only residents of the eastern portion of Subarea A to access to their units. The gate shall be kept in good working order by the homeowners or condominium association that serves Subarea A and shall meet all requirements of the fire code.

D. Architectural Standards:

1. General Standards: All structures shall meet the City of Dublin Zoning Code Residential Appearance Standards unless otherwise set forth herein. Depictions of the architectural elevations accompany this text and are intended to provide illustrations of the character, materials, colors, and scale of the products in the development. The architecture of the Final Development Plan shall comply with the elevations presented to Council on August 18, 2008. The exteriors of all structures shall consist of high quality materials with designs that are harmonious with and complimentary to that found in Historic Dublin.

2. Building Height: Maximum building heights shall be thirty-five (35) feet as measured per the City of Dublin Code.

3. Exterior Cladding Materials:

a. The primary material on each building facade shall consist of brick, brick veneer, cultured stone veneer, vinyl siding, cementitious fiberboard, or other comparable materials, or some combination thereof. No exposed concrete or split faced block shall be permitted. Front or side building facades located along the bio basin or public street or alley frontages shall incorporate a common architectural vocabulary specific to this development so that the similar architectural elements and details are consistent throughout those elevations of the building.

b. The front, side, and alley-facing building façades of each of the residential buildings in this subarea shall consist of masonry or masonry veneer except as provided below. Windows, shutters, doors, roofs, trim, and fencing shall be excluded when calculating the surface area of a particular façade. A “building” shall be described as a linear arrangement of living units that are connected together without any space in between, as well as the garages behind such living units. Elevations are attached as exhibits to this text which illustrate the distribution and quantities of materials on the building facades. The maximum permissible surface area that may contain vinyl siding for front, side, and alley building façades are set forth below:

i. A maximum of thirty percent (30%) of the total sum of the surface areas of the front and side façades of each building in this subarea may consist of vinyl siding. Individual units within a building may utilize more than this percentage so long as the entire building in which it is located does not exceed this threshold, provided, however, that the surface area of any side façade of an individual unit located on an alley or a public street shall contain a maximum of thirty percent (30%) vinyl siding.

ii. A maximum of twenty-five percent (25%) of the surface area of the rear façade of each individual garage that faces or sides on an alley or a public street shall consist of vinyl siding.

c. When used, vinyl siding shall have a minimum thickness of 0.046 inches with an exposure between six and one half (6 ½) and eight (8) inches.

d. Exterior cladding materials shall be natural in appearance or of a muted color. Examples of such colors are cream, beige, and earthtones. Where more than one exterior cladding or trim material is used, the colors of these materials shall be complimentary.

4. Trim Materials: Permitted exterior trim materials shall include wood, EIFS, siding manufacturer's proprietary trim products for their specific systems, engineered trim, or fiber-cement products.
5. Roofs: Permitted roofing materials shall include dimensional asphalt shingles, wood, slate, copper, standing seam metal, and/or tile.
6. Chimneys: All exterior portions of chimneys shall be finished with masonry consisting of brick, stone, or manufactured stone.
7. Front Doors: Residential units shall utilize a variety of distinctive and decorative front doors. Representative examples of these doors shall be presented for review and approval by Planning Commission with the Final Development Plan for this subarea.
8. Shutters: Where shutters are used, they must appear operational and be installed such that, if closed, they would cover the entire window opening.
9. Columns: Where columns are used as an entry feature on a building, they must be sized and scaled appropriately to the building architecture similar to what is shown on the preliminary development plan.

E. Buffering, Landscaping, Open Space, and Screening Commitments

1. General Standards: All landscaping shall meet the requirements of the City of Dublin Zoning Code unless otherwise set forth herein.
2. Open Space: Open space shall be provided in this subarea in accordance with the approved preliminary development plan. Subarea A includes a "bio basin" retention feature located as shown on the preliminary development plan. This bio basin shall be maintained by a forced and funded homeowners association. The homeowners association shall obtain advice from landscape or horticultural professionals concerning the care, maintenance, and replacement of plant materials located in this bio basin.

A landscape inspection will be obtained by the homeowners association within three years of the installation of the bio basin, which will be furnished to Planning for evaluation. The homeowners association will continue to provide landscape inspections every three years thereafter if requested by Planning.

3. Street Trees: Existing street trees shall be maintained and/or replaced as necessary along Monterey Drive. All new street trees shall be a minimum of two and one half (2 1/2) inches in caliper at installation and shall be of a species that is approved as a part of the final development plan. Replacement street trees shall be installed in accordance with City Code.

4. Front Landscaping: The front of each unit shall be landscaped with foundation plantings and at least one (1) ornamental tree. Landscaping shall be consistent and/or complimentary across the front all units contained in the same building.

5. Perimeter Landscaping: Due to the presence of existing vegetation, the perimeter buffering requirements of the Dublin City Code will not be met for this subarea. While strict adherence to the Code is not required, the Final Development Plan for this subarea shall meet the spirit and intent of the Code in this regard by augmenting existing vegetation where practicable to achieve the Code's desired effect. Landscaping along the eastern perimeter of Subarea A shall be provided between applicable setbacks and the property line as determined at the time of final development plan. The requirement to provide a buffer treatment along the shared boundary line with Subarea C may be waived by the Planning Commission at the time of final development plan in the event that adequate buffering between Subareas A and C is provided as a part of plans for the cemetery or parkland to be found in Subarea C. Perimeter landscaping throughout the subarea shall seek to preserve existing trees where practicable and shall include additional screening as required by the City of Dublin Zoning Code.

6. Permanent Fences: A six (6) foot high privacy fence that is located between the primary residential structure and its garage shall be permitted to create private courtyards for each unit. Such fencing provided on the end of a building shall be constructed of brick, stone, or manufactured stone that is complimentary to the architecture of that building.

7. Permeable Materials: Permeable pavement or pavers shall be permitted for use on patios and/or stoops associated with individual units. Samples of these materials shall be submitted at the time of final development plan.

G. Model Homes

A maximum of one (1) townhome may be used as a model home for the purpose of marketing and sales pursuant to Code.

IV. Subarea B:

Subarea B is located in the northeastern portion of the PUD and south of and adjacent to Bridge Street. This subarea consists of 1.3 ± acres and shall contain the commercial component of the PUD.

A. Permitted Uses:

1. Permitted uses shall include the following:

- a. Those uses listed in City of Dublin Zoning Code Section 153.027(A), Neighborhood Commercial District;
- b. Those uses listed in City of Dublin Zoning Code Section 153.028(A), Community Commercial District;
- c. The permitted and conditional uses listed in City of Dublin Zoning Code Section 153.036, Historic Business District, provided that the conditional uses listed in that section are approved in accordance with Section 153.236
- d. Dry cleaning and related services; art galleries; and wine and other specialty stores (not including liquor stores).

2. The following uses shall be excluded from the permitted uses in subsection IV(A)(1) above and shall not be permitted in this subarea:

- Motor vehicle dealers
- Tire, battery and accessory dealers
- Miscellaneous aircraft, marine and automotive dealers
- Lumber and other building materials dealers
- Heating and plumbing equipment dealers
- Electrical supply stores
- Farm hardware and equipment stores
- Hotels and motels
- Rooming and boarding houses
- Liquor stores
- Funeral service
- Sexually oriented business establishments

3. Conditional Uses: The following uses shall be conditional uses in this subarea, provided that they are approved in accordance with Section 153.236 of the City of Dublin Code:

- a. Outdoor service facilities, including, without limitation, outdoor dining patios; and
- b. Restaurants, taverns, nightclubs, lounges, and dance halls

B. Density, Lot, and Setback Commitments:

1. Density: A single structure with a maximum of twelve thousand (12,000) square feet of gross floor area shall be permitted in this subarea. A maximum of three thousand (3,000) square feet of outdoor dining patios shall be permitted in addition to the allowable interior square footage.

2. Setbacks:

- a. There shall be a minimum building and pavement setback of one (1) foot from the Bridge Street right-of-way.
- b. There shall be a minimum building and pavement setback of ten (10) feet from Monterey Drive.
- c. Along the eastern and southern boundaries of this subarea, there shall be a minimum setback of ten (10) feet for pavement and dumpsters and a minimum setback of twenty-five (25) feet for buildings.
- d. Interior lot lines within this subarea may have a zero setback for pavement and buildings.

3. Lot coverage: There shall be a maximum lot coverage of ninety percent (90%) in this subarea.

C. Access, Parking, and other Traffic-Related Commitments:

1. Parking: Parking in Subarea B shall be at a minimum rate of one (1) space per two hundred (200) square feet of development, regardless of use. For outdoor dining patios, parking shall be provided at this same rate unless at the time of Final Development Plan for this subarea the Planning Commission approves an alternative parking arrangement upon demonstration by the applicant that there is provision of adequate off-site parking to serve the use through means such as the existence of a parking agreement with a nearby property owner, the provision of valet parking, or similar alternatives.

2. Circulation: Vehicles will access this subarea via a full movement curbcut on Monterey Drive and a curbcut with right-in only access from Bridge Street. Private drive aisles and parking lots shall be provided to provide vehicular circulation within the subarea and shall be constructed and maintained in accordance with the following standards:

- a. Maintenance of the parking lots shall be the responsibility of the property owner.
- b. Waste and refuse collection shall be provided to the rear of the building in a dumpster that is screened in accordance with City Code.
- c. The existing sidewalk shall be maintained (or replaced, if damaged during construction) along the Bridge Street and Monterey Drive frontage. The sidewalk shall be constructed in accordance with City standards.

3. Loading Spaces: No loading spaces shall be required in this subarea.

4. Bridge Street Right-of-Way: The right-of-way for Bridge Street shall be fifty-six (56) feet as measured from the centerline of right-of-way. Following the approval of the preliminary and final development plans for this subarea, the developer shall dedicate the necessary right-of-way along this road to the City to meet this requirement.

5. Traffic Signal: The cost of the of the design, acquisition and installation of the proposed traffic signal at the intersection of Monterey Drive and Bridge Street shall be paid for by the developer or its successors or assigns in interest unless a separate written agreement between the developer and the City is approved by City Council that sets forth an alternative arrangement for the payment of this cost. Construction plans for the signal installation shall be approved as part of the building permit process for the building in Subarea B. The traffic signal shall be installed contemporaneously with the construction of the building found in Subarea B. The signal shall not be activated until the commercial space is fully occupied, or the developer proves that traffic signal warrants are met prior to full occupancy of the commercial space.

D. Architectural Standards:

1. General Standards: A depiction of the architectural scheme for Subarea B accompanies this text and is intended to provide a general illustration of the character, materials, colors, and scale of this project. The exterior of the structure shall consist of high quality materials with a design that is harmonious with and complimentary to that found in Historic Dublin.

2. Building Height: The maximum building height shall be thirty-five (35) feet as measured per the City of Dublin Code. The building in this subarea shall be two (2) stories in appearance.

3. Exterior Cladding Materials:

a. The primary material on each building facade shall consist of brick, brick veneer, stone, cultured stone, stone veneer, vinyl siding, which shall be limited to the pediments only, or other comparable materials, or some combination thereof. No exposed concrete or split faced block shall be permitted. Four-sided architecture shall be required so that similar architectural design elements and details are consistent throughout all elevations of the structure.

b. When used, vinyl siding shall have a minimum thickness of 0.046 inches with an exposure between six and one half (6 ½) and eight (8) inches.

c. Exterior cladding materials shall be natural in appearance or of a muted color. Examples of such colors are cream, beige, and earthtones. Where more than one exterior cladding or trim material is used, the colors of these materials shall be complimentary.

4. Trim Materials: Permitted exterior trim materials shall include wood, EIFS, siding manufacturer's proprietary trim products for their specific systems, engineered trim, or fiber-cement products.

5. Roofs: Permitted roofing materials shall include dimensional asphalt shingles, wood, slate, copper, standing seam metal, and/or tile.

6. Chimneys: All exterior portions of chimneys shall be finished with masonry consisting of brick, stone, or manufactured stone.

E. Buffering, Landscaping, Open Space, and Screening Commitments

1. General Standards: All residential landscaping shall meet the requirements of Sections 153.130 through 153.148 of the City of Dublin Zoning Code, unless otherwise set forth herein or approved as a part of the Final Development Plan.

2. Street Trees: Existing street trees shall be maintained and/or replaced as necessary along Monterey Drive and Bridge Street. All new street trees shall be a minimum of two and one half (2 1/2) inches in caliper at installation and shall be of a species that is approved as a part of the final development plan.

3. Perimeter Buffering: Due to the presence of existing vegetation, the perimeter buffering requirements of the Dublin City Code will not be met for this subarea. While strict adherence to the Code is not required, the Final Development Plan for this subarea shall meet the spirit and intent of the Code in this regard by augmenting existing vegetation where practicable to achieve the Code's desired effect.

F. Graphics and Signage Commitments

1. At the time of the submission of a Final Development Plan for this subarea, the developer shall present the Planning Commission with a graphics and sign plan for its review and approval. The intent of the plan shall be to provide standards that allow for graphics and signs that are similar to those found in the Old Dublin Town Center developments. The approved plan shall serve as the uniform graphics and sign plan for the subarea. In the event that the graphics and sign plan is silent on any matter addressed by the City of Dublin Sign Code, Sections 153.150 through 153.164, then the terms of those Code sections shall apply.

2. Each tenant shall be permitted the following signage:

- a. One (1) wall sign on its storefront, which shall be defined as that façade which faces a public right-of-way;
 - b. One (1) double-faced hanging sign on its storefront, mounted perpendicular to the wall. The tenant of the western end of the building in this subarea shall be permitted an additional double-faced hanging sign on the building façade facing Monterey Drive; and
 - c. One (1) wall sign or one (1) double-faced hanging sign at its rear entrance from the parking lot found in Subarea B.
3. Appropriate square footage limitations for each sign type shall be determined at the time of Final Development Plan.
 4. Each sign shall have a total of no more than three (3) sign colors. Plaque colors shall be low-chroma and subdued.
 5. All wall mounted signs (except hanging signs) shall be externally illuminated using the same or similar gooseneck light fixtures throughout the subarea.

G. Lighting:

1. All lighting shall be in conformance with the City of Dublin Exterior Lighting Guidelines, except as provided for in this text. This lighting plan shall compliment the lighting found in Historic Dublin for similar uses and shall be submitted to the Planning Commission as part of the final development plan. Lighting shall be in conformance with the plan that is approved as a part of the final development plan.
2. External lighting shall be cutoff type light fixtures.
3. All parking, pedestrian, and other exterior lighting shall be on poles or wall mounted cutoff fixtures and shall be of a coordinated type and style. All light fixtures shall be decorative in nature, residential in scale, and of a coordinating style to the architecture of this subarea. Fixture and pole specifications shall be included with the lighting plan that will be presented as a part of the final development plan.
4. All light poles and standards shall be dark in color and shall be a dark brown, black, or bronze metal.
5. Parking lot lighting shall be limited to sixteen (16) feet in height.
6. Cutoff type landscape lighting and uplighting of buildings shall be prohibited.

7. All lights shall be arranged to reflect light away from any street or adjacent property.
8. No colored lights shall be used to light the exterior of any building.

H. Maintenance:

All buildings, structures, fences, paved areas, landscaped areas, and other improvements shall at all times be kept in good condition and repair and with a clean and orderly appearance. Landscaped areas shall be maintained with materials specified in the plan and in a healthy living state, mowed, pruned, watered and otherwise maintained as appropriate. All signage shall be kept in good repair. Lighting, painting and associated materials on signage shall be kept in good condition. When, and if, vacancies shall occur, said spaces shall be maintained free of litter, dirt, and left over and/or deteriorated signage so as to appear ready for re-rental and re-occupancy provided that nothing herein shall be construed as interfering with the right to make reasonable repairs or alterations to said premises.

V. Subarea C:

Subarea C is located in the eastern portion of the PUD. This subarea consists of 0.53 ± acres and shall provide for the expansion of the existing Dublin Cemetery.

A. Permitted Uses: The following uses shall be permitted in Subarea C:

1. Cemetery uses in conjunction with the expansion of the existing Dublin Cemetery.
2. Parks and open space.

B. Development Standards: Development of cemetery uses shall occur in accordance with the approved Final Development Plan for this subarea.

APPLICANT / PROPERTY
OWNER

OWNER

OWNER

Waterford Commons Ltd.
109 South High Street
Dublin, OH 43017

City of Dublin
5800 Shier Rings Road
Dublin, OH 43016-7295

David & Dorothy Manns, Trustees
P.O. Box 115
Dublin, OH 43017-0115

SURROUNDING PROPERTY
OWNERS

SPV-Bridge LLC
42 Woodcroft Trail., Ste. B
Dayton, OH 45430

Board of Education
Dublin City Schools
7030 Coffman Road
Dublin, OH 43017

Merlin D. & Cynthia K. Moon
64 Corbins Mill Drive
Dublin, OH 43017

Kevin & Karen O'Connor
8388 Sommerset Way
Dublin, OH 43017

William G. Robson
215 West Bridge Street
Dublin, OH 43017

Dublin Plaza LP
c/o Key Bank Real Estate
Attn: Servicing Dept.
911 Main St., Ste. 1500
Kansas City, MO 64105

David D. Poplar
278 Clover Ct.
Dublin, OH 43017

William & Vivian Brantley
246 Clover Ct.
Dublin, OH 43017

Dennis & Carol Muchnicki
270 Clover Ct.
Dublin, OH 43017

Donald & Tamara Wisler
254 Clover Ct.
Dublin, OH 43017

Douglas & Judith Martin
262 Clover Ct.
Dublin, OH 43017

grabill-monterey-con plan owners.lbl (ncp)
7/31/07 F:Docs/s&hlabels/2007

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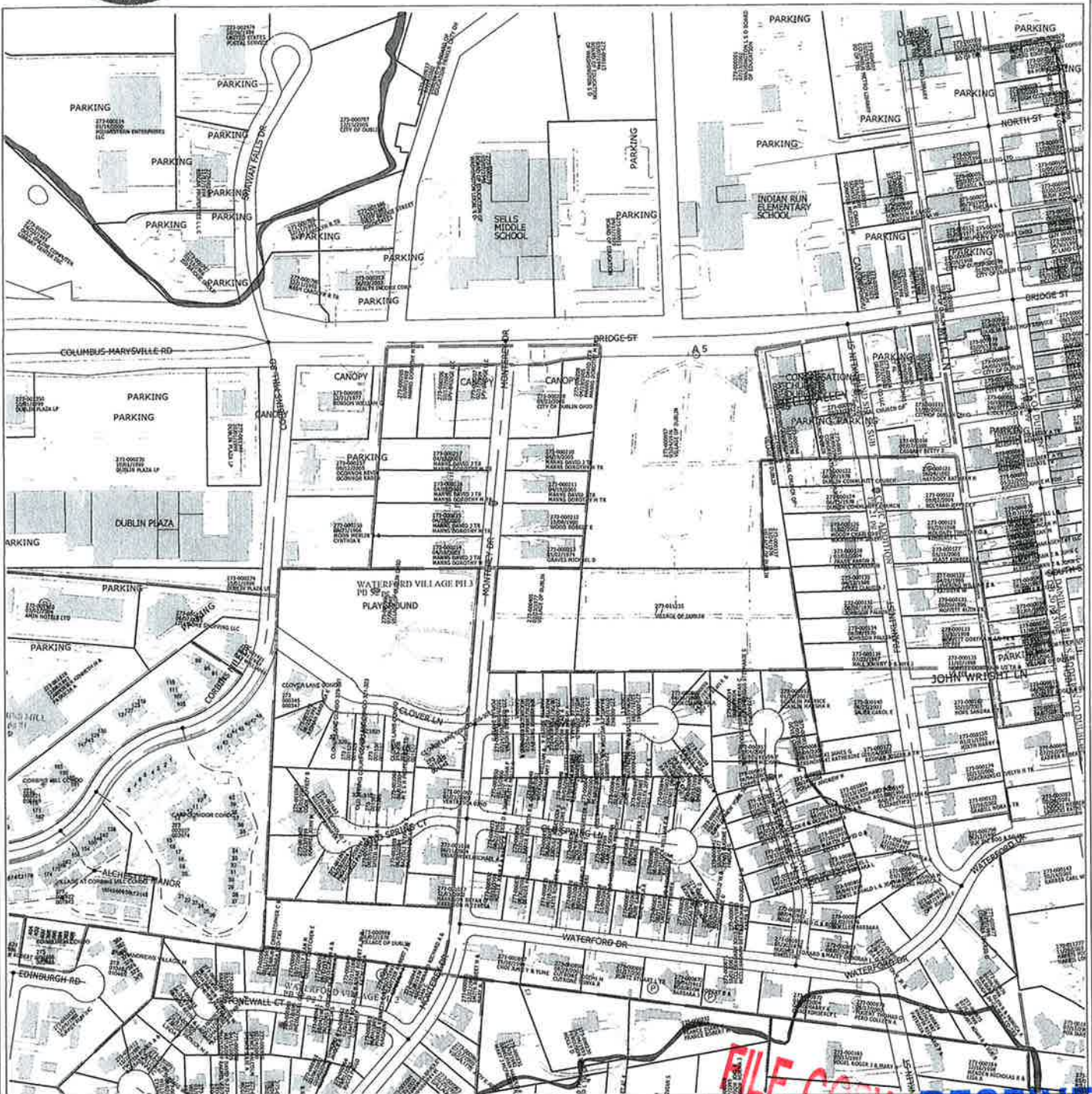
SEP 16 2008
08-093 FOP
CITY OF DUBLIN
LAND USE &
LONG RANGE PLANNING



JOSEPH W. TESTA FRANKLIN COUNTY AUDITOR

MAP ID: au

DATE: 4/12/06



Disclaimer

Scale = 400

Grid

This map is prepared for the real property inventory within this county. It is compiled from recorded deeds, survey plats, and other public records and data. Users of this map are notified that the public primary information sources should be consulted for verification of the information contained on this map. The county and the mapping companies assume no legal responsibilities for the information contained on this map. Please notify the Franklin County GIS Division of any discrepancies.

Real Estate / GIS Department

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Grid
SEP 16 2006
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CITY OF DUBLIN
LAND USE &
LONG RANGE PLANNING

**4 Parcels West of Monterey
owned by Manns**

2.458 ACRES

Situated in the State of Ohio, County of Franklin, City of Dublin, located in Virginia Military Survey Number 2512, being all of Lots 10, 11, 12, and 13 of that subdivision entitled "Dublin Heights Subdivision" of record in Plat Book 24, Page 47 as conveyed to David J. Manns Tr. By deed of record in Instrument Number 200504190073188 (all references refer to the records of the Recorder's Office, Franklin County, Ohio) and being described as follows:

Beginning, for reference, at a northeasterly corner of Lot 3 of said "Dublin Heights Subdivision" as conveyed to SPV-Bridge, LLC by deed of record in Instrument Number 200402180034828, being the southerly right-of-way line of Bridge Street and the westerly right-of-way line of Monterey Drive;

thence South $05^{\circ} 08' 51''$ West, with said westerly right-of-way line, a distance of 121.49 feet to a point;

thence South $04^{\circ} 56' 35''$ West, continuing with said westerly right-of-way line, a distance of 79.29 feet to the TRUE POINT OF BEGINNING;

thence South $04^{\circ} 56' 35''$ West, staying with said westerly right-of-way line, a distance of 358.43 feet to a point in a southeasterly corner of said Lot 10;

thence South $89^{\circ} 55' 24''$ West, with the southerly line of said Lot 10, a distance of 299.18 feet to a southwesterly corner of said Lot 10;

thence North $04^{\circ} 45' 14''$ East, with a westerly line of said Lots 10, 11, 12, and 13, a distance of 358.54 feet to a southwesterly corner of that tract as conveyed to Dorothy M. Manns Tr., by deed of record in Instrument Number 199905050113961;

thence North $89^{\circ} 57' 43''$ East, with the southerly line of said Dorothy M. Manns Tr., and said SPV-Bridge, LLC tract, a distance of 300.35 feet to the TRUE POINT OF BEGINNING and containing 2.458 acres of land, more or less.

This description was prepared from record information only and should be used for zoning purposes only.

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07-084 CP/E

LAND USE &
LONG RANGE PLANNING

**2 Parcels owned by
City of Dublin and
Manns along Bridge Street**

1.106 ACRES

Situated in the State of Ohio, County of Franklin, City of Dublin, located in Virginia Military Survey Number 2512, being all of Lots 4 and 5 of that subdivision entitled "Dublin Heights Subdivision" of record in Plat Book 24, Page 47 as conveyed to City of Dublin by deed of record in Instrument Number 200509230199442, and David J. Manns Tr. By deed of record in Instrument Number 200504190073188 (all references refer to the records of the Recorder's Office, Franklin County, Ohio) and being described as follows:

BEGINNING at a northwesterly corner of said Lot 4, being the southerly right-of-way line of Bridge Street and the easterly right-of-way line of Monterey Drive;

thence North 88° 58' 59" East, with a northerly line of said Lot 4, a distance of 84.51 feet to a point;

thence North 76° 55' 15" East, continuing with said northerly line, a distance of 50.82 feet to a point set at a northwesterly corner of said Lot 5;

thence North 84° 29' 50" East, with a northerly line of said Lot 5, a distance of 104.28 feet to a point at a northeasterly corner of that tract as conveyed to Village of Dublin by deed of record in Deed Book 3510, Page 986;

thence South 05° 22' 28" West, with a westerly line of said Village of Dublin, a distance of 144.13 feet to a point;

thence South 05° 21' 36" West, continuing with said westerly line, a distance of 63.48 feet to a southeasterly corner of said Lot 5;

thence South 82° 32' 43" West, with the northerly line of Lot 6 as conveyed to David J. Manns Tr., a distance of 116.35

thence South 89° 11' 18" West, continuing with said northerly line, a distance of 120.03 feet to a southwesterly corner of said Lot 4, being the easterly right-of-way line of said Monterey Drive;

thence North 04° 48' 04" East, with said easterly right-of-way line, a distance of 80.28 feet to a point;

thence North 04° 53' 08" East, continuing with said easterly right-of-way, a distance of 120.94 feet to the POINT OF BEGINNING and containing 1.106 acres of land, more or less.

This description was prepared from record information only and should be used for zoning purposes only.

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67-084 012
LAND USE &
ZONING PLANNING

Proposed Cemetery Ground

0.594 ACRE

Situated in the State of Ohio, County of Franklin, City of Dublin, located in Virginia Military Survey Number 2512, being part of Lots 6, 7, 8, and 9 of that subdivision entitled "Dublin Heights Subdivision" of record in Plat Book 24, Page 47 as conveyed to David J. Manns Tr. By deed of record in Instrument Number 200504190073188 and Grabill and Company, LLC by deeds of record in Instrument Number 200704090061022 and Instrument Number 200704090061024 (all references refer to the records of the Recorder's Office, Franklin County, Ohio) and being described as follows:

Beginning, for reference, at a northwesterly corner of Lot 4 as conveyed to City of Dublin by deed of record in Instrument Number 200509230199442, being the southerly right-of-way line of Bridge Street and the easterly right-of-way line of Monterey Drive;

thence North 88° 58' 59" East, with a northerly line of said Lot 4, a distance of 84.51 feet to a point;

thence North 76° 55' 15" East, continuing with said northerly line, a distance of 50.82 feet to a point set at a northwesterly corner of Lot 5 as conveyed to David J. Manns;

thence North 84° 29' 50" East, with a northerly line of said Lot 5, a distance of 104.28 feet to a point at a northeasterly corner of that tract as conveyed to Village of Dublin by deed of record in Deed Book 3510, Page 986;

thence South 05° 22' 28" West, with a westerly line of said Village of Dublin, a distance of 144.13 feet to a point;

thence South 05° 21' 36" West, continuing with said westerly line, a distance of 63.47 feet to a southeasterly corner of said Lot 5, being the TRUE POINT OF BEGINNING;

thence South 05° 21' 36" West, with an easterly line of said Lots 6, 7, 8, and 9, a distance of 374.82 feet to a northeasterly corner of that tract as conveyed to Village of Dublin by deed of record in Deed Book 3571, Page 642;

thence North 89° 40' 54" West, with the northerly line of said Village of Dublin tract, a distance of 70.27 feet to a point;

thence North 05° 21' 36" East, across said Lots 6, 7, 8, and 9, a distance of 365.06 feet to a point in the southerly line of said Lot 5;

thence North 82° 32' 43" East, with said southerly line, a distance of 71.79 feet to the TRUE POINT OF BEGINNING, and containing 0.594 acre of land, more or less.

This description was prepared from record information only and should be used for zoning purposes only.

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LAND USE &

LONG RANGE PLANNING

**4 Parcels East of Monterey
owned by Manns and others**

1.922 ACRES

Situated in the State of Ohio, County of Franklin, City of Dublin, located in Virginia Military Survey Number 2512, being part of Lots 6, 7, 8, and 9 of that subdivision entitled "Dublin Heights Subdivision" of record in Plat Book 24, Page 47 as conveyed to David J. Manns Tr. By deed of record in Instrument Number 200504190073188 and Grabill and Company, LLC by deeds of record in Instrument Number 200704090061022 and Instrument Number 200704090061024 (all references refer to the records of the Recorder's Office, Franklin County, Ohio) and being described as follows:

Beginning, for reference, at a northwesterly corner of Lot 4 as conveyed to City of Dublin by deed of record in Instrument Number 200509230199442, being the southerly right-of-way line of Bridge Street and the easterly right-of-way line of Monterey Drive;

thence South 04° 53' 08" West, with said easterly right-of-way line, a distance of 120.94 feet to a point;

thence South 04° 48' 04" West, continuing with said easterly right-of-way line, a distance of 80.28 feet to the TRUE POINT OF BEGINNING;

thence North 89° 11' 18" East, with the southerly line of said Lot 4, a distance of 120.03 feet to a point;

thence North 82° 32' 43" East, partly with the southerly line of said Lot 4 and the southerly line Lot 5 as conveyed to David J. Manns, Tr., a distance of 116.35 feet to a point in a westerly line of that tract as conveyed to Village of Dublin by deed of record in Deed Book 3510, Page 982;

thence South 05° 21' 36" West, with said westerly line, a distance of 374.82 feet to a point in a northeasterly corner of that tract as conveyed to the Village of Dublin by deed of record in Deed Book 3571, Page 642;

thence North 89° 40' 48" West, with a northerly line of said Village of Dublin tract, a distance of 230.21 feet to a point in the easterly right-of-way line of said Monterey Drive;

thence North 04° 48' 04" East, with said easterly right-of-way line, a distance of 356.35 feet to the TRUE POINT OF BEGINNING, and containing 1.922 acres of land, more or less.

This description was prepared from record information only and should be used for zoning purposes only.

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07-084CP12

LAND USE &
ZONING PLANNING

**Portion of 4 Parcels
East of Monterey owned
by Manns and others
for proposed townhomes**

1.327 ACRES

Situated in the State of Ohio, County of Franklin, City of Dublin, located in Virginia Military Survey Number 2512, being part of Lots 6, 7, 8, and 9 of that subdivision entitled "Dublin Heights Subdivision" of record in Plat Book 24, Page 47 as conveyed to David J. Manns Tr. By deed of record in Instrument Number 200504190073188 and Grabill and Company, LLC by deeds of record in Instrument Number 200704090061022 and Instrument Number 200704090061024 (all references refer to the records of the Recorder's Office, Franklin County, Ohio) and being described as follows:

Beginning, for reference, at a northwesterly corner of Lot 4 as conveyed to City of Dublin by deed of record in Instrument Number 200509230199442, being the southerly right-of-way line of Bridge Street and the easterly right-of-way line of Monterey Drive;

thence South 04° 53' 08" West, with said easterly right-of-way line, a distance of 120.94 feet to a point;

thence South 04° 48' 04" West, continuing with said easterly right-of-way line, a distance of 80.28 feet to the TRUE POINT OF BEGINNING;

thence North 89° 11' 18" East, with the southerly line of said Lot 4, a distance of 120.03 feet to a point;

thence North 82° 32' 43" East, partly with the southerly line of said Lot 4 and Lot 5 as conveyed to David J. Manns, Tr., a distance of 44.56 feet to a point;

thence South 05° 21' 36" West, across said Lots 6, 7, 8, and 9, a distance of 365.06 feet to a point in a northerly line of that tract as conveyed to the Village of Dublin by deed of record in Deed Book 3571, Page 642;

thence North 89° 40' 54" West, with the northerly line of said Village of Dublin tract, a distance of 159.93 feet to a point in the easterly right-of-way line of said Monterey Drive;

thence North 04° 48' 04" East, with said easterly right-of-way line, a distance of 356.35 feet to the TRUE POINT OF BEGINNING, and containing 1.327 acres of land, more or less.

This description was prepared from record information only and should be used for zoning purposes only.

EVANS, MECHWART, HAMBLETON, & TILTON, INC.

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LAND USE &
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